



UWS Inspections

Inspecting your home with Trust



Home Inspection Report

Prepared for: [REDACTED]

[REDACTED]
[REDACTED]

Inspected by: [REDACTED]

United We Stand Property Inspections

United We Stand Property Inspections

1 of 38
03/12/2025 11:55 AM

Prepared for: [REDACTED]
[REDACTED]

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03/12/2025 11:55 AM

Prepared for: [REDACTED]
[REDACTED]

Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious signs of defect.
Not Present	Item not present or not found.
Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Marginal	Item is not fully functional and requires repair or servicing.
Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.

General Information

Property Information

Property Address: [REDACTED]
City: Sugar Hill State: GA Zip: [REDACTED]

Client Information

Client Name: [REDACTED]
Client Address:
City: State: GA Zip:
Phone: [REDACTED] Email: [REDACTED]
Referrer Name: [REDACTED]
Phone: [REDACTED] Email: [REDACTED]

Inspection Company

Inspector Name [REDACTED]
Company Name United We Stand Property Inspections
Address: [REDACTED]
State: [REDACTED]
Phone: [REDACTED]
Email: info@uwsinspections.com Web: www.uwsinspections.com
[REDACTED]

Conditions

Others Present: Seller Property Occupied: Occupied
Inspection Date: 2025-03-11
Start Time: 01:30 PM End Time: 05:30 PM
Utilities On: Yes
Temperature: 60F
Weather: Clear Soil Conditions: Dry
Space Below Grade: None
Building Type: Single family Garage: Attached
Water Source: City How Verified: Multiple Listing Service
Sewage Disposal: City How Verified: Multiple Listing Service
Additions/Modifications: N/A

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Prepared for: [REDACTED]

Lots and Grounds

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1. Acceptable Driveway: Concrete - A minimal crack was observed in one corner of the driveway. This appears to be a minor cosmetic issue with no immediate concerns. Monitoring for any changes over time is recommended.



2. Acceptable Walks: Concrete



3. Acceptable Patio: Concrete - A minimal crack was observed on concrete patio floor. This appears to be a minor cosmetic issue with no immediate concerns. Monitoring for any changes over time is recommended.



4. Acceptable Grading: Minor slope



5. Acceptable Vegetation: Grass

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Prepared for: [REDACTED]

Lots and Grounds (Continued)

6. Acceptable Retaining Walls: Stone, concrete



Exterior

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Not Present Item not present or not found.

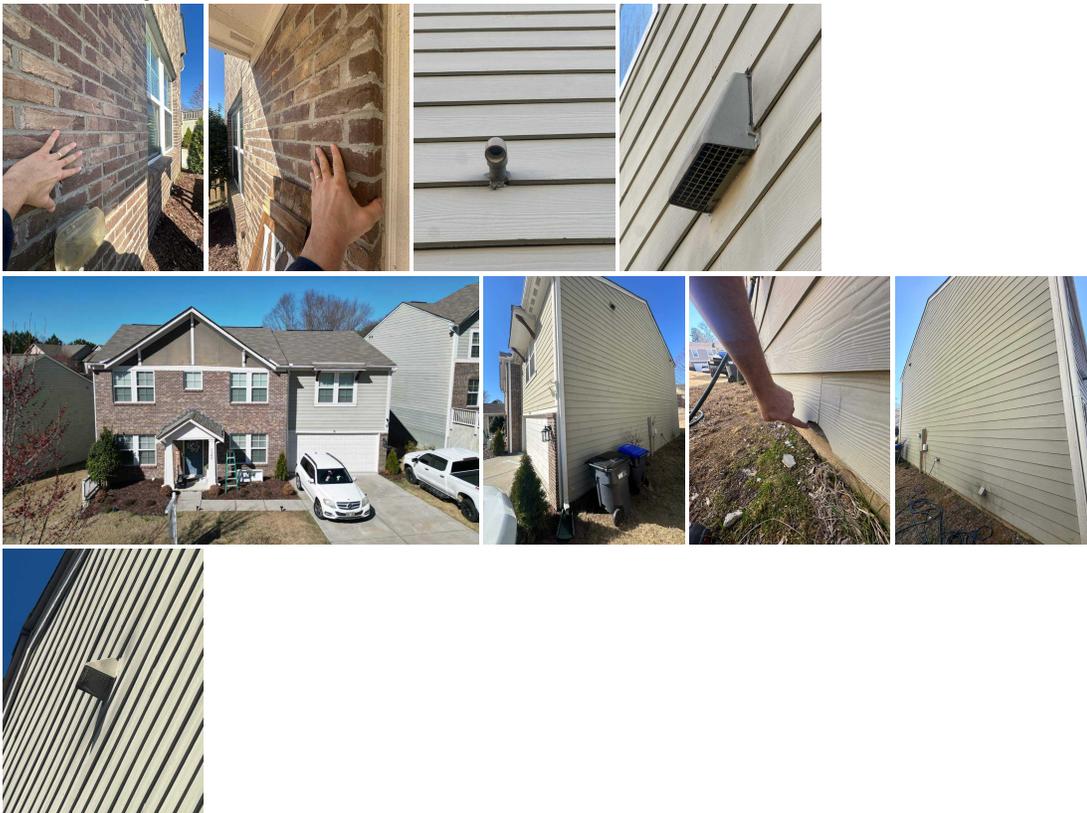
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Main Exterior Surface

1. Acceptable Type: Cement and fiber (hardiplanks) - A few minor imperfections were observed on the Hardieplank exterior siding, particularly on the bottom boards. These are cosmetic and do not affect functionality. Maintenance can be considered as needed.



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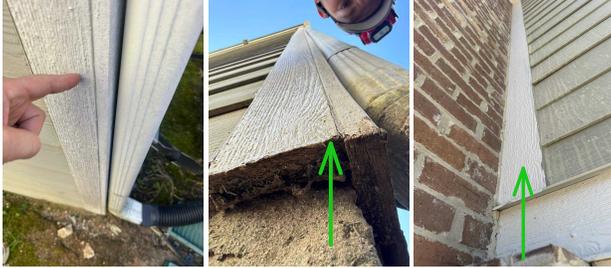
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Prepared for: [REDACTED]

Exterior (Continued)

2. Acceptable Trim: Wood



3. Acceptable Fascia: Wood



4. Acceptable Entry Doors: Metal



5. Acceptable Patio Door: Metal sliding



6. Acceptable Windows: Aluminum slider



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Prepared for: [REDACTED]

[REDACTED]

Exterior (Continued)

7. Acceptable Window Screens: Metal



8. Acceptable Exterior Lighting: Surface mount



9. Acceptable Exterior Electric Outlets: 110 VAC GFCI



10. Acceptable Hose Bibs: Rotary



11. Acceptable Gas Meter: Side of house



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Prepared for: [REDACTED]

Exterior (Continued)

12. Acceptable Main Gas Valve: Located at gas meter



Roof

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Main Roof Surface

1. Method of Inspection: Drone, from eaves

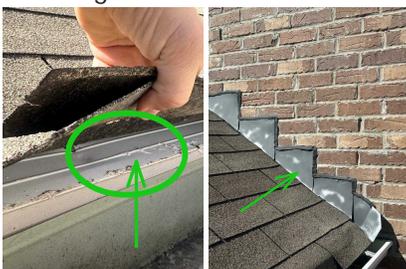
2. Acceptable Material: Asphalt shingle



3. Type: Gable

4. Approximate Age: Less than 5 years

5. Acceptable Flashing: Aluminum

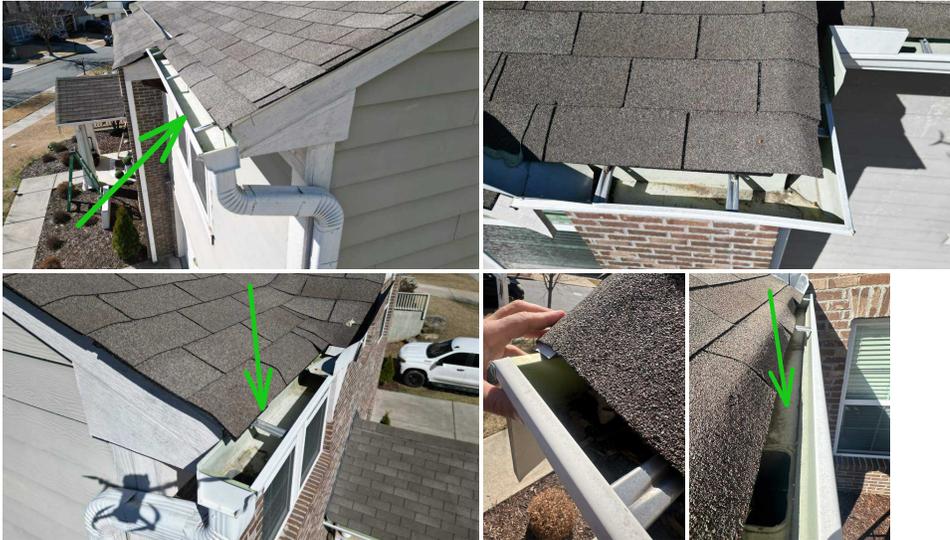


Roof (Continued)

6. Acceptable Plumbing Vents: PVC



7. Acceptable Gutters: Aluminum



8. Acceptable Downspouts: Aluminum



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Garage/Carport

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Attached Garage

1. Type of Structure: Attached Car Spaces: 2

2. Acceptable Garage Doors: Metal



3. Acceptable Door Operation: Mechanized



4. Acceptable Service Doors: Metal



5. Acceptable Ceiling: Paint



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Prepared for: [REDACTED]

Garage/Carport (Continued)

6. Acceptable Walls: Paint



7. Acceptable Floor/Foundation: Concrete block - A minimal crack was observed on garage concrete floor. This appears to be a minor cosmetic issue with no immediate concerns. Monitoring for any changes over time is recommended.



8. Not Inspected Electrical:

Electrical

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1. Service Size Amps: 200 Volts: 220-240 VAC

2. Acceptable Service: Underground



3. Acceptable Conductor Type: Romex

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Prepared for: [REDACTED]

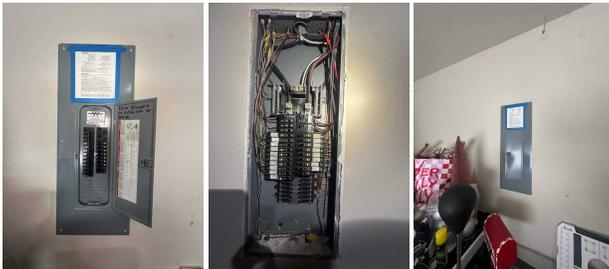
Electrical (Continued)

4. Marginal Smoke Detectors: Hard wired - There was no smoke detector in some areas of the house, and at least one was detached from its electrical box. Recommend installing missing detectors and securing any loose ones for safety.

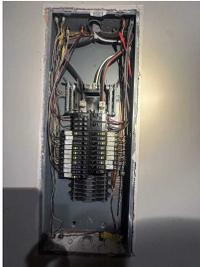


Garage Electric Panel

5. Acceptable Manufacturer: Square D



6. Acceptable Breakers: Copper and Aluminum



7. Acceptable AFCI: 110 volt



8. Is the panel bonded? Yes

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Structure

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1. Not Inspected Foundation: Poured slab
2. Acceptable Stairs/Handrails: Wood stairs with wood handrails



Attic

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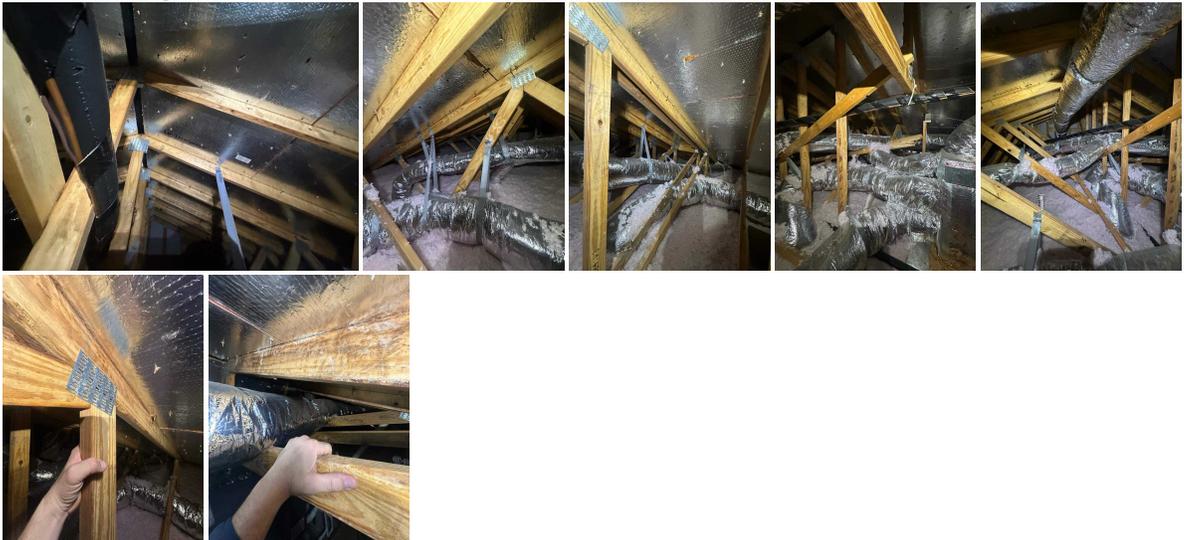
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Walk in close master bathroom Attic

1. Method of Inspection: In the attic
2. Acceptable Roof Framing: 2x4 Truss



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Prepared for: [REDACTED]

Attic (Continued)

3. Acceptable Sheathing: Strand board



4. Acceptable Ventilation: Ridge and soffit vents



5. Acceptable Insulation: Blown in



6. Acceptable Insulation Depth: 12
7. Not Present Moisture Penetration:

Air Conditioning

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Main AC System

1. Acceptable A/C System Operation: Functional - The air conditioning system appeared to be functioning properly, with cold air flowing from all registers. No issues were observed at the time of inspection.

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Prepared for: [REDACTED]

Air Conditioning (Continued)

A/C System Operation: (continued)



2. Acceptable

Exterior Unit: Pad mounted



3. Area Served: Whole building Approximate Age: 2016

4. Type: Central A/C Capacity: 4 Ton

5. Acceptable Visible Coil: Copper core with aluminum fins

6. Acceptable Refrigerant Lines: Insulated



7. Acceptable Electrical Disconnect: Breaker disconnect

8. Acceptable Thermostats: Programmable



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Prepared for: [REDACTED]

Heating System

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Attic Heating System

1. Acceptable Heating System Operation: Adequate - The heating system system appeared to be functioning properly, with hot air flowing from all registers. No issues were observed at the time of inspection.



2. Manufacturer: Goodman



3. Area Served: Whole building Approximate Age: 2016

4. Fuel Type: Natural gas



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Prepared for: [REDACTED]

Heating System (Continued)

5. Marginal Blower Fan/Filter: Disposable - The air filters were noticeably dirty, and the return vents in the master bathroom had visible dust buildup. The ductwork may also require cleaning due to excessive dust. Recommend having an HVAC contractor evaluate and service as needed.



6. Acceptable Distribution: Insulflex duct



7. Suspected Asbestos: No

Plumbing

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1. Acceptable Main Water Shutoff: By water heater

2. Acceptable Water Lines: ABS - The water pressure was measured at approximately 50 PSI, which is within the normal range for residential properties. No action is needed unless higher or lower pressure is desired. If adjustments are necessary, consider consulting a plumber



3. Not Inspected Drain Pipes:

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Prepared for: [REDACTED]

[REDACTED]

Plumbing (Continued)

4. Acceptable Service Caps: Accessible



5. Acceptable Gas Service Lines: Cast iron

Utility closet in hallway Water Heater

6. Acceptable Water Heater Operation: Adequate

7. Manufacturer: Rheem

8. Type: Electric Capacity: 50 Gal.

9. Approximate Age: 2016 Area Served: Whole building

10. Acceptable TPRV and Drain Tube: Copper



Bathroom

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2nd floor Bathroom

1. Acceptable Ceiling: Paint

2. Acceptable Walls: Paint



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Prepared for: [REDACTED]

Bathroom (Continued)

3. Acceptable Floor: Vinyl floor covering



4. Acceptable Doors: Hollow wood

5. Acceptable Electrical: 110 VAC



6. Acceptable Counter/Cabinet: Laminate

7. Acceptable Sink/Basin: Porcelain coated



8. Acceptable Faucets/Traps: Delta fixtures with a metal trap



9. Acceptable Shower/Surround: Fiberglass pan and ceramic tile surround



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Prepared for: [REDACTED]

Bathroom (Continued)

10. Acceptable Toilets: American Standard



11. Acceptable HVAC Source: Heating system register

12. Acceptable Ventilation: Electric ventilation fan

1st floor Half Bathroom

13. Acceptable Ceiling: Paint



14. Acceptable Walls: Paint



15. Acceptable Floor: Laminate



16. Acceptable Doors: Hollow wood

17. Acceptable Electrical: 110 VAC



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Prepared for: [REDACTED]
[REDACTED]

Bathroom (Continued)

18. Acceptable Sink/Basin: Pedestal



19. Acceptable Faucets/Traps: Delta fixtures with a metal trap



20. Acceptable Toilets: American Standard



21. Acceptable HVAC Source: Heating system register

22. Acceptable Ventilation: Electric ventilation fan

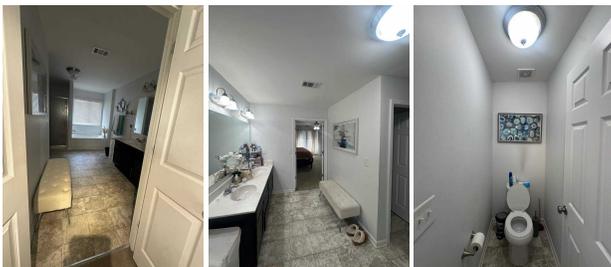
Master Half Bathroom

23. Acceptable Closet: Walk In



24. Acceptable Ceiling: Paint

25. Acceptable Walls: Paint



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Prepared for: [REDACTED]
[REDACTED]

Bathroom (Continued)

26. Acceptable Floor: Vinyl floor covering



27. Acceptable Doors: French
28. Acceptable Windows: Non-opening
29. Acceptable Electrical: 110 VAC GFCI



30. Acceptable Counter/Cabinet: Laminate



31. Acceptable Sink/Basin: Molded dual bowl



32. Acceptable Faucets/Traps: Delta fixtures with a metal trap

33. Acceptable Toilets: American Standard



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Prepared for: [REDACTED]
[REDACTED]

Bathroom (Continued)

- 34. Acceptable HVAC Source: Heating system register
- 35. Acceptable Ventilation: Electric ventilation fan

Kitchen

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1st Floor Kitchen

- 1. Acceptable Cooking Appliances: Whirlpool



- 2. Marginal Ventilator: On Whirlpool Microwave - Replace filter



- 3. Acceptable Disposal: In-Sinkerator



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Prepared for: [REDACTED]

Kitchen (Continued)

4. Marginal Dishwasher: Whirlpool - The washer's metal surface appears stained and may benefit from professional cleaning. The range oven also shows signs of needing a thorough cleaning. Recommend addressing as needed for better maintenance and appearance.



5. Air Gap Present? Yes

6. Marginal Refrigerator: LG - The refrigerator did not dispense water or ice at the time of inspection. Recommend checking the water supply connection and filter or consulting an appliance specialist if needed.



7. Acceptable Microwave: Whirlpool



8. Acceptable Sink: Stainless Steel



9. Acceptable Electrical: 110 VAC

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Prepared for: [REDACTED]
[REDACTED]

Kitchen (Continued)

Electrical: (continued)



10. Acceptable

Plumbing/Fixtures: PVC



11. Acceptable

Counter Tops: Marble



12. Marginal

Cabinets: Laminate - The kitchen laminated cabinets have minor defects, including slight peeling at the corners and no handles installed. These are cosmetic issues, and maintenance or upgrades can be considered as needed.



13. Acceptable

Ceiling: Paint



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Prepared for: [REDACTED]

Kitchen (Continued)

14. Acceptable Walls: Paint and paneling



15. Acceptable Floor: Laminate



16. Acceptable Windows: Slide



17. Acceptable HVAC Source: Heating system register

Bedroom

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2nd floor Bedroom

1. Acceptable Closet: Single small

2. Acceptable Ceiling: Paint

3. Acceptable Walls: Paint

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Prepared for: [REDACTED]
[REDACTED]

Bedroom (Continued)

Walls: (continued)



- 4. Acceptable
- 5. Acceptable
- 6. Acceptable
- 7. Acceptable

Floor: Carpet
Doors: Hollow wood
Windows: Vinyl slider
Electrical: 110 VAC



- 8. Acceptable
- 2nd floor Bedroom

HVAC Source: Heating system register

- 9. Acceptable
- 10. Acceptable
- 11. Acceptable

Closet: Single small
Ceiling: Paint
Walls: Paint



- 12. Acceptable

Floor: Carpet



- 13. Acceptable
- 14. Acceptable

Doors: Hollow wood
Windows: Vinyl double hung

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Prepared for: [REDACTED]

Bedroom (Continued)

15. Acceptable Electrical: 110 VAC



16. Acceptable HVAC Source: Heating system register
Master Bedroom

17. Acceptable Ceiling: Paint

18. Acceptable Walls: Paint



19. Marginal Floor: Carpet - The carpets throughout the house are dirty and show signs of wear. It is recommended to have them cleaned or replaced, depending on the level of deterioration.



20. Marginal Doors: Hollow wood - The master bedroom door has a crack in the wooden panel. This is a cosmetic issue and can be repaired or replaced if desired.



21. Acceptable Windows: Vinyl double hung

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Prepared for: [REDACTED]

Bedroom (Continued)

Windows: (continued)



22. Acceptable

Electrical: 110 VAC



23. Acceptable

HVAC Source: Heating system register

2nd floor Bedroom

24. Acceptable

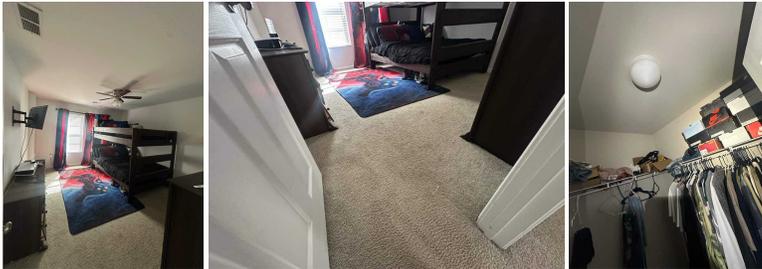
Closet: Single small

25. Acceptable

Ceiling: Paint

26. Acceptable

Walls: Paint



27. Acceptable

Floor: Carpet

28. Acceptable

Doors: Hollow wood

29. Acceptable

Windows: Vinylhung

30. Acceptable

Electrical: 110 VAC



31. Acceptable

HVAC Source: Heating system register

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Prepared for: [REDACTED]

Living Space

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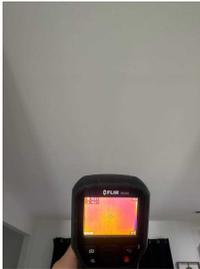
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Breakfast area Living Space

1. Acceptable Ceiling: Paint



2. Acceptable Walls: Paint



3. Acceptable Floor: Laminate



4. Acceptable Electrical: 110 VAC



5. Acceptable HVAC Source: Heating system register

Dining Room Living Space

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Prepared for: [REDACTED]

[REDACTED]

Living Space (Continued)

6. Acceptable Ceiling: Paint



7. Acceptable Walls: Paint and paneling



8. Acceptable Floor: Laminate



9. Acceptable Windows: Wood double hung



10. Acceptable Electrical: 110 VAC



11. Acceptable HVAC Source: Heating system register
Living Room Living Space

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Prepared for: [REDACTED]

Living Space (Continued)

12. Acceptable Ceiling: Paint



13. Acceptable Walls: Paint



14. Acceptable Floor: Laminate



15. Acceptable

Doors: Bi-fold

16. Acceptable

Windows: Wood double hung



17. Acceptable

Electrical: 110 VAC



18. Acceptable

HVAC Source: Heating system register

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Prepared for: [REDACTED]

[REDACTED]

Living Space (Continued)

Family Room Living Space

19. Acceptable Ceiling: Paint



20. Acceptable Walls: Paint



21. Marginal Floor: Laminate - There is minor separation between the laminated planks in the living space. This is a cosmetic issue and can be monitored or repaired if it worsens.



22. Acceptable Windows: Double



23. Acceptable Electrical: 110 VAC



24. Acceptable HVAC Source: Heating system register

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Prepared for: [REDACTED]

Living Space (Continued)

2nd floor loft Living Space

25. Acceptable Ceiling: Paint



26. Acceptable Walls: Paint



27. Acceptable Floor: Carpet



28. Acceptable Windows: Slide



29. Acceptable Electrical: 110 VAC



30. Acceptable HVAC Source: Heating system register

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Prepared for: [REDACTED]

[REDACTED]

Laundry Room/Area

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1st Floor Laundry Room/Area

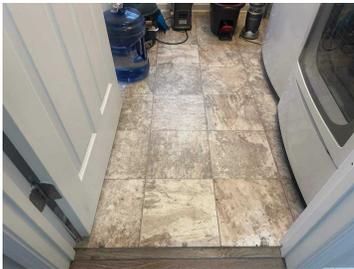
1. Acceptable Ceiling: Paint



2. Acceptable Walls: Paint



3. Acceptable Floor: Vinyl floor covering



4. Acceptable Doors: Hollow wood

5. Acceptable Windows: Single

6. Acceptable Electrical: 110 VAC



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Prepared for: [REDACTED]

Laundry Room/Area (Continued)

7. Acceptable Laundry Tub: PVC



8. Acceptable Washer Hose Bib: Gate valves



9. Marginal Dryer Vent: Metal flex - The laundry vent appears to be dirty and may need cleaning. Recommend having it cleaned to ensure proper ventilation and prevent potential hazards



Final Comments

Overall, the house is in good condition with only minor issues noted. With some minor maintenance and upkeep, it should continue to serve its purpose well for years to come.

Marginal Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

Electrical

1. Smoke Detectors: Hard wired - There was no smoke detector in some areas of the house, and at least one was detached from its electrical box. Recommend installing missing detectors and securing any loose ones for safety.



Heating System

2. Attic Heating System Blower Fan/Filter: Disposable - The air filters were noticeably dirty, and the return vents in the master bathroom had visible dust buildup. The ductwork may also require cleaning due to excessive dust. Recommend having an HVAC contractor evaluate and service as needed.



Kitchen

3. 1st Floor Kitchen Ventilator: On Whirlpool Microwave - Replace filter



4. 1st Floor Kitchen Dishwasher: Whirlpool - The washer's metal surface appears stained and may benefit from professional cleaning. The range oven also shows signs of needing a thorough cleaning. Recommend addressing as needed for better maintenance and appearance.

Kitchen (Continued)



5. 1st Floor Kitchen Refrigerator: LG - The refrigerator did not dispense water or ice at the time of inspection. Recommend checking the water supply connection and filter or consulting an appliance specialist if needed.



6. 1st Floor Kitchen Cabinets: Laminate - The kitchen laminated cabinets have minor defects, including slight peeling at the corners and no handles installed. These are cosmetic issues, and maintenance or upgrades can be considered as needed.



Bedroom

7. Master Bedroom Floor: Carpet - The carpets throughout the house are dirty and show signs of wear. It is recommended to have them cleaned or replaced, depending on the level of deterioration.



8. Master Bedroom Doors: Hollow wood - The master bedroom door has a crack in the wooden panel. This is a cosmetic issue and can be repaired or replaced if desired.

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Bedroom (Continued)



Living Space

9. Family Room Living Space Floor: Laminate - There is minor separation between the laminated planks in the living space. This is a cosmetic issue and can be monitored or repaired if it worsens.



Laundry Room/Area

10. 1st Floor Laundry Room/Area Dryer Vent: Metal flex - The laundry vent appears to be dirty and may need cleaning. Recommend having it cleaned to ensure proper ventilation and prevent potential hazards

